



Bureau of Planning and Sustainability
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January 22, 2021

MEMORANDUM

To: Members of the Planning and Sustainability Commission
From: Al Burns, AICP, Senior City Planner
Subject: Explanation of Maps, Second Work Session on the Shelter to Housing Continuum Project

Introduction

This memorandum provides an explanation of four maps transmitted with this memorandum. Together, these maps depict potential locations for outdoor shelters throughout the City. They also display the number of potential outdoor shelter sites by neighborhood.

Commission Action Requested

No action is requested. The commission need not approve the maps. They are submitted into the Commission’s record of proceedings as information that might aid the Commission’s deliberations on which Shelter to Housing Continuum Project Title 33 code amendments to recommend to City Council.

Explanation

The Titles of the four maps are:

- “Outdoor Shelters Allowed All,”
- “Outdoor Shelters Allowed Vacant,”
- “Outdoor Shelters Conditional All,” and
- “Outdoor Shelters Conditional Vacant.”

Only lots of 5,000 square feet or greater in area were counted for all four maps.

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Traducción o interpretación	Chuyển Ngữ hoặc Phiên Dịch	翻译或传译	Письменный или устный перевод	Traducere sau Interpretare
الترجمة التحريرية أو الشفهية	Письмовий або усний переклад	翻訳または通訳	Turjumida ama Fasiraadda	ການແປພາສາ ຫຼື ການອະທິບາຍ
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The two maps containing the word “all” in the title display the count of all lots where outdoor shelter would be allowed by the proposed code. One “all” map displays where shelters are allowed under clear and objective standards and the other displays where shelters are allowed only through conditional use approval.

The two maps containing the word “vacant” in the title display the count of only vacant lots where outdoor shelter would be allowed by the proposed code. Again, one “vacant” map displays where shelters are allowed under clear and objective standards and the other displays where shelters are allowed only through conditional use approval.

Vacant lots are counted in the “all” maps, so there is some double counting of lots. There is no double counting of lots on the “vacant” maps.

Lots were counted as either “allowed” or “conditional;” there is no double counting of lots between these two categories. So, in the few cases where an area displays with no conditional use lots available, that does not mean an absence of available lots, it means that all lots in that area are allowed by right lots rather than conditional use lots.

Lots are counted by neighborhoods, which are indicated by a white boarder but are not named.

The color range is the same on all four maps with the darkest color indicating the fewest lots and the lightest color the most. Please note, however, that the metrics are different. The same color on an “all” map represents many more available lots than the same color on a “vacant” map.

Analysis

The “all” maps represent a best case. While many of these lots are developed at or near their allowed capacity and are thus not available for shelter, many others are under-developed with site area free of building coverage.

The “vacant” maps represent a worst case, by assuming that shelters can only locate on vacant lots. This is not the case, and there are built institutions with parking lots and undeveloped site area that have expressed interest in hosting an outdoor shelter.

So, probable availability of lots for outdoor shelters falls between the numbers on the “all” and “vacant” maps.

Although availability is not equally distributed throughout the City every neighborhood has at least some sites available for an outdoor shelter.

Conclusion

The provision of outdoor shelters will not be limited by the supply of suitably zoned urban land. The impediment will be costs, the cost of purchasing land, the cost of development, and the cost of operations.



Potential Outdoor Shelter Sites by Neighborhood

Allowed under Clear and Objective Standards

Lots = greater than 5000 square feet

Legend

----- Urban Service Boundary

Major Waterbodies

Industrial Zones

Open Space Zone

lots by Neighborhood

none

1 - 100

101 - 400

451 - 800

greater than 800

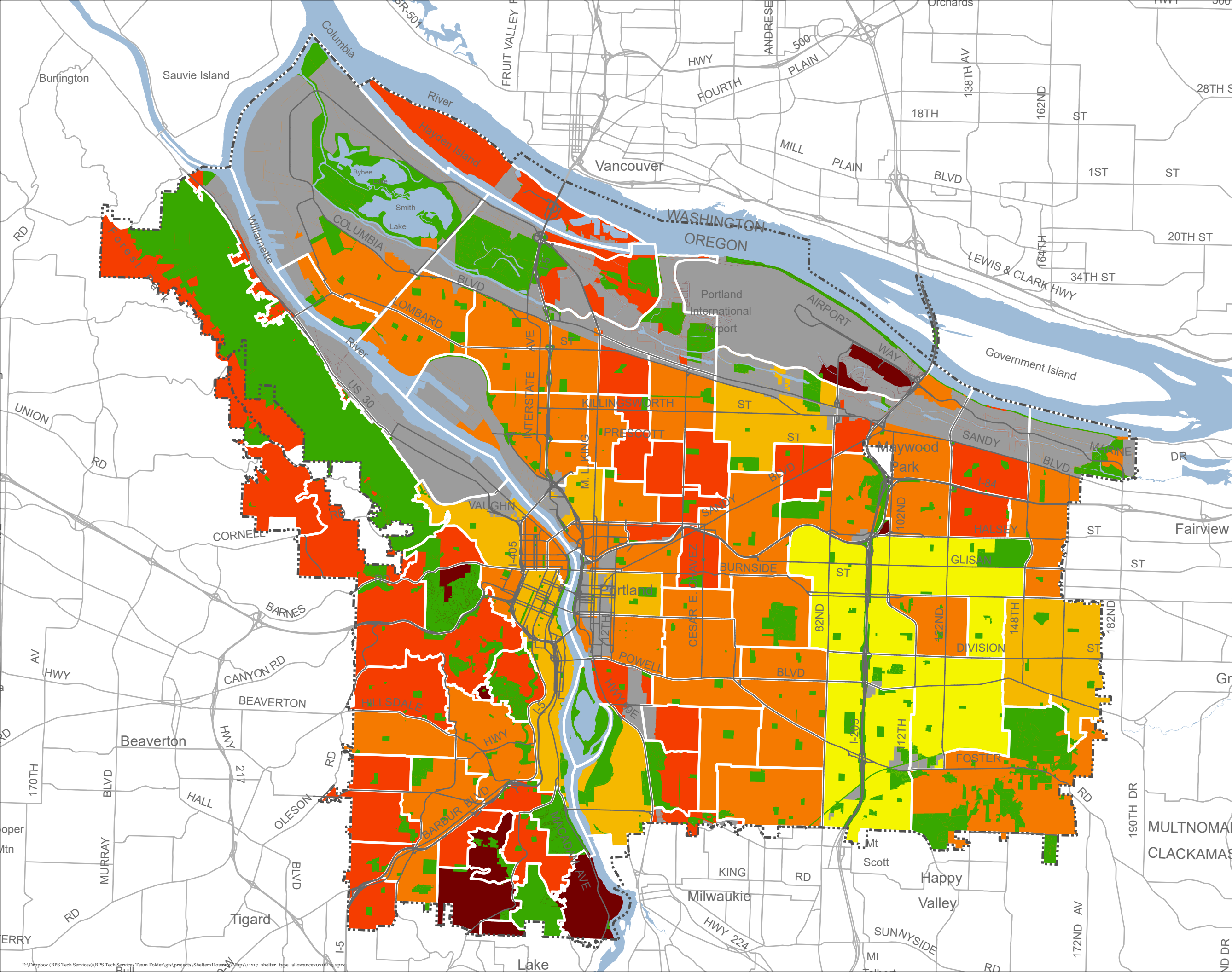
Data source:

- (1) Taxlots with area greater than 5000 square feet
- (2) Zoning (BPS)



The information on this map was derived from City of Portland GIS databases. Care was taken in the creation of this map but it is provided "as is". The City of Portland cannot accept any responsibility for error, omissions or positional accuracy.

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Potential Outdoor Shelter Sites by Neighborhood

Allowed under Clear and Objective Standards

Lots = vacant and greater than 5000 square feet

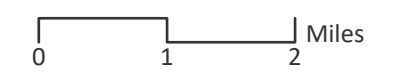
Legend

- Urban Service Boundary
- Major Waterbodies
- Industrial Zones
- Open Space Zone

vacant lots by Neighborhood

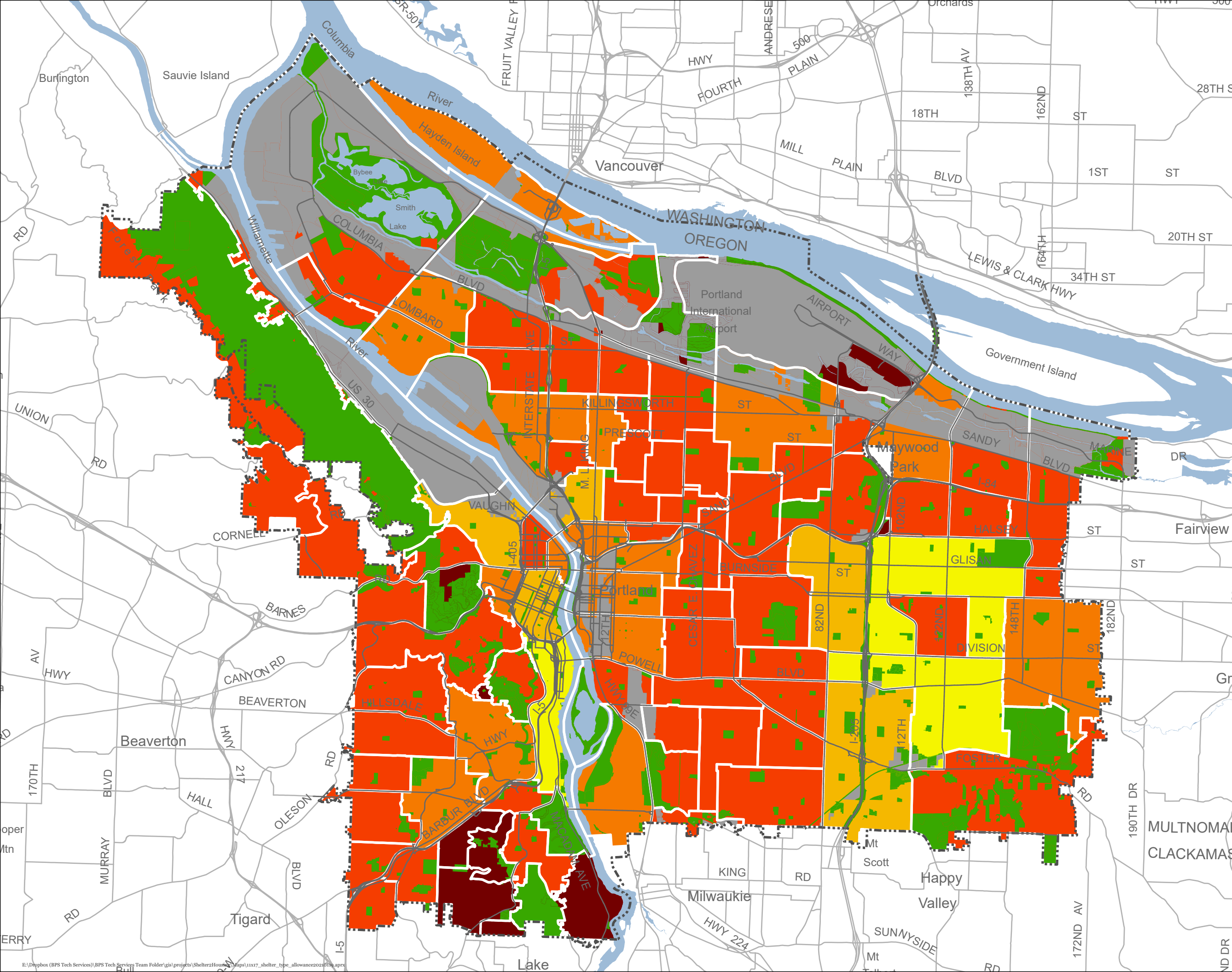
- None
- 1 - 25
- 26 - 50
- 51 - 100
- greater than 100

Data source:
 (1) Taxlots with area greater than 5000 square feet
 (2) Buildable Lands Inventory vacant lots (BPS).
 (3) Zoning (BPS)



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Potential Outdoor Shelter Sites by Neighborhood

Allowed by Conditional Use Approval

Lots = greater than 5000 square feet

Legend

----- Urban Service Boundary

Major Waterbodies

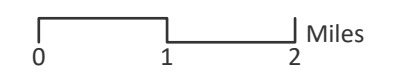
Industrial Zones

Open Space Zone

lots by Neighborhood

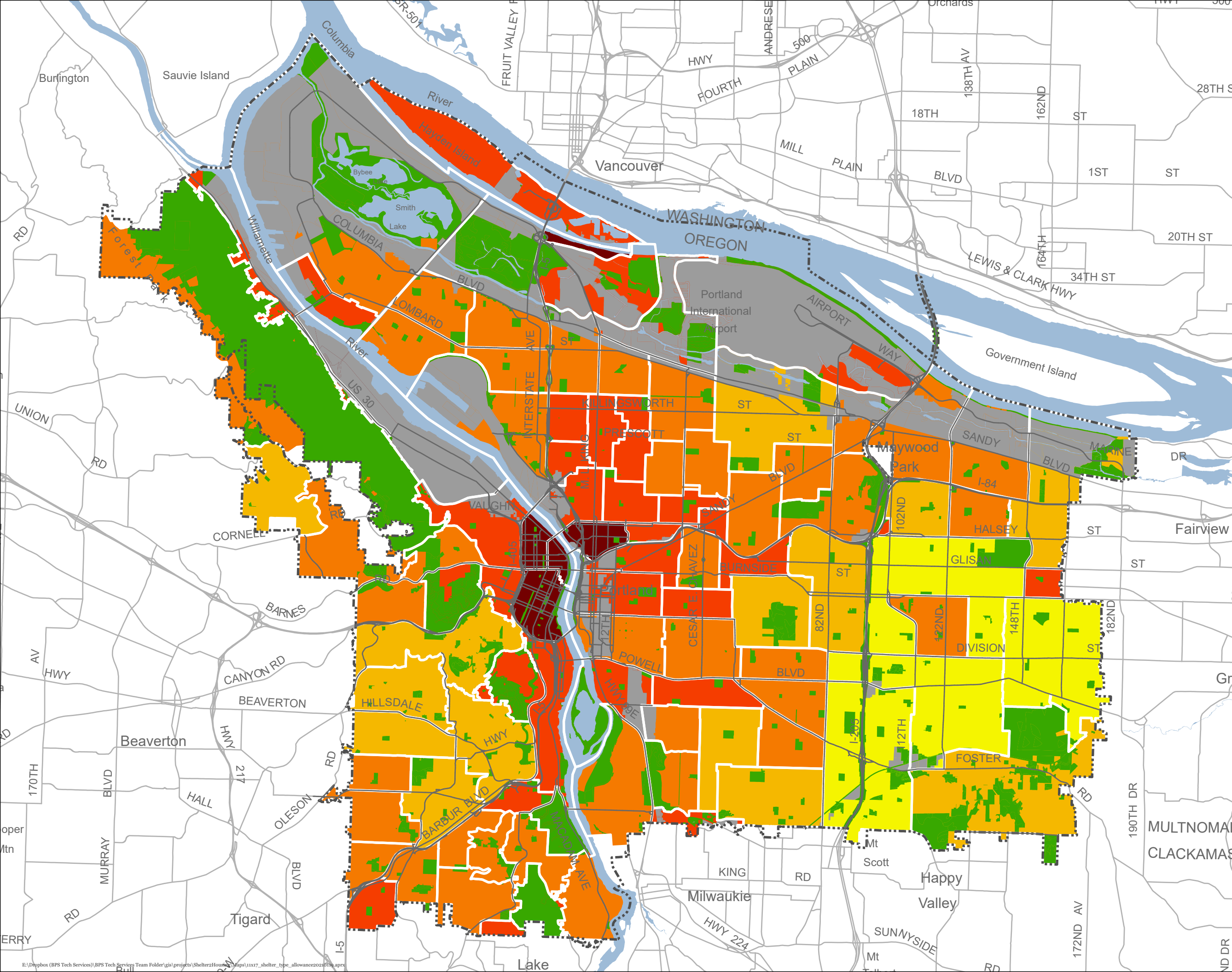
- none
- 1 - 500
- 501 - 1,500
- 1501 - 3000
- greater than 3,000

Data source:
(1) Taxlots with area greater than 5000 square feet
(2) Zoning (BPS)



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Potential Outdoor Shelter Sites by Neighborhood

Allowed by Conditional Use Approval

Lots = vacant and greater than 5000 square feet

Legend

----- Urban Service Boundary

Major Waterbodies

Industrial Zones

Open Space Zone

vacant lots by Neighborhood

- none
- 1 - 25
- 26 - 50
- 51 - 100
- greater than 100

Data source:
(1) Taxlots with area greater than 5000 square feet
(2) Buildable Lands Inventory vacant lots (BPS).
(3) Zoning (BPS)



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