



HORIZONTAL METAL PANELS

VERTICAL WOOD BOARDS

METAL PANEL/FLASHING

VIEW FROM SOUTHEAST

SLIMBRICK VENEER

TEXTURED CONCRETE BASE



HORIZONTAL METAL PANELS  
VERTICAL WOOD BOARDS  
METAL PANEL/FLASHING

SOUTH ELEVATION

TEXTURED CONCRETE BAND

SLIMBRICK VENEER  
TEXTURED CONCRETE BASE



EAST ELEVATION

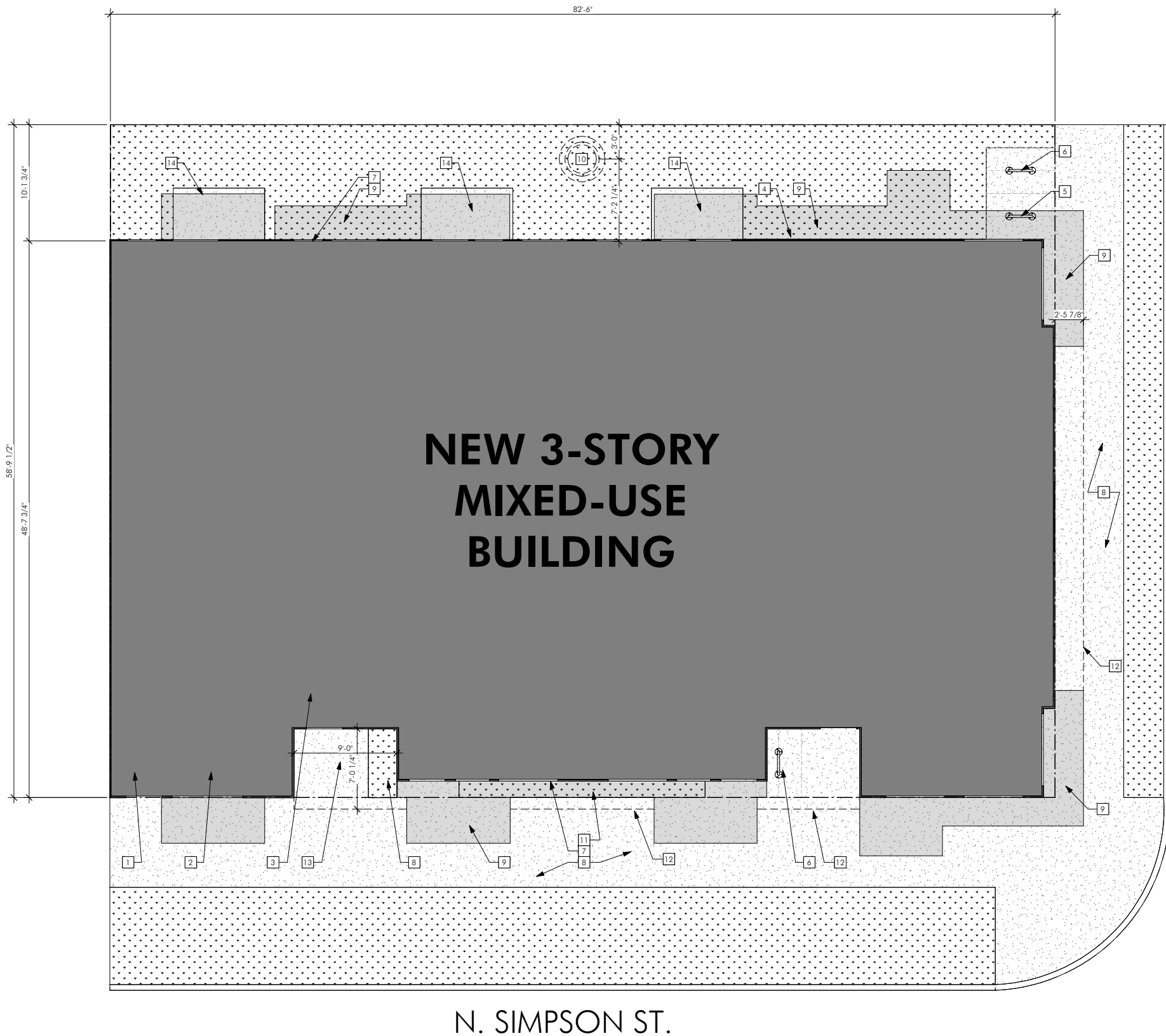
HORIZONTAL METAL PANELS  
VERTICAL WOOD BOARDS  
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NORTH ELEVATION

- HORIZONTAL METAL PANELS
- VERTICAL WOOD BOARDS
- METAL PANEL/FLASHING
- SLIMBRICK VENEER
- TEXTURED CONCRETE BASE



# NEW 3-STORY MIXED-USE BUILDING



N. INTERSTATE AVE

N. SIMPSON ST.

## SITE GENERAL NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. PROVIDE CONSTRUCTION FENCING AS REQUIRED TO SECURE SITE AND BUILDING DURING CONSTRUCTION.
3. EXTREME CARE SHOULD BE TAKEN TO PRESERVE EXISTING ROOTS OF TREES TO REMAIN.
4. REFER TO CIVIL DRAWINGS FOR GRADING. SITE IS REQUIRED TO MEET THE LAWS OF FHA AND ADA. ACCESSIBLE ROUTES SHALL NOT EXCEED 5% (1 IN 20) OR CROSS SLOPES SHALL NOT EXCEED 2% (1 IN 50). ALL AT GRADE SIDEWALKS ARE ACCESSIBLE ROUTES.
5. JOINTS IN CONCRETE WALKS NOTED AS E.J. ARE TO BE CONSTRUCTED AS EXPANSION JOINTS. ALL OTHER JOINTS SHOWN, TO BE TOOLED CONTROL JOINTS. SEE CIVIL.
6. SEE LANDSCAPE DRAWINGS FOR LANDSCAPE AND IRRIGATION ELEMENTS.
7. SEE ELECTRICAL DRAWINGS FOR SITE LIGHTING.

## SITE PLAN LEGEND:

-  LANDSCAPING
-  CONCRETE FLOOR/SIDEWALK/PAD

## SITE PLAN NOTES:

- 1 RISER ROOM
- 2 TRASH RECEPTILES LOCATED INSIDE BUILDING.
- 3 USPS APPROVED MAILBOXES BY OTHERS LOCATED INSIDE LOBBY.
- 4 PREFERRED ELECTRICAL/GAS METER LOCATION.
- 5 LONG TERM BICYCLE STORAGE RACK MONITORED WITH SECURITY CAMERA PER 33.266.220.B.2.d(5)
- 6 SHORT TERM BICYCLE PARKING.
- 7 4" Ø PERFORATED FOOTING DRAIN SURROUNDED BY DRAIN ROCK ENTIRE PERIMETER OF BUILDING.
- 8 EXISTING SIDEWALK, REPAIR OR REPLACE AS REQUIRED AS PER CITY STANDARDS
- 9 BUILDING UPPER FLOORS/BALCONIES (ABOVE, SHOWN FOR REFERENCE)
- 10 PROPOSED DRY WELL FOR STORMWATER MANAGEMENT.
- 11 LANDSCAPE PLANTER.
- 12 AWNING ABOVE.
- 13 COMMUNITY DESIGN STANDARD 7' DEEP X 9' WIDE FRONT PORCH.
- 14 CONCRETE PATIO.

## SUMMARY TABLE:

PARCEL ZONE - CM3

SITE AREA - 4,850 SF

LANDSCAPED AREA - 730 SF OR 15%

NEW 19 UNIT 3 STORY STRUCTURE  
W/ 943 SF OF RETAIL SPACE

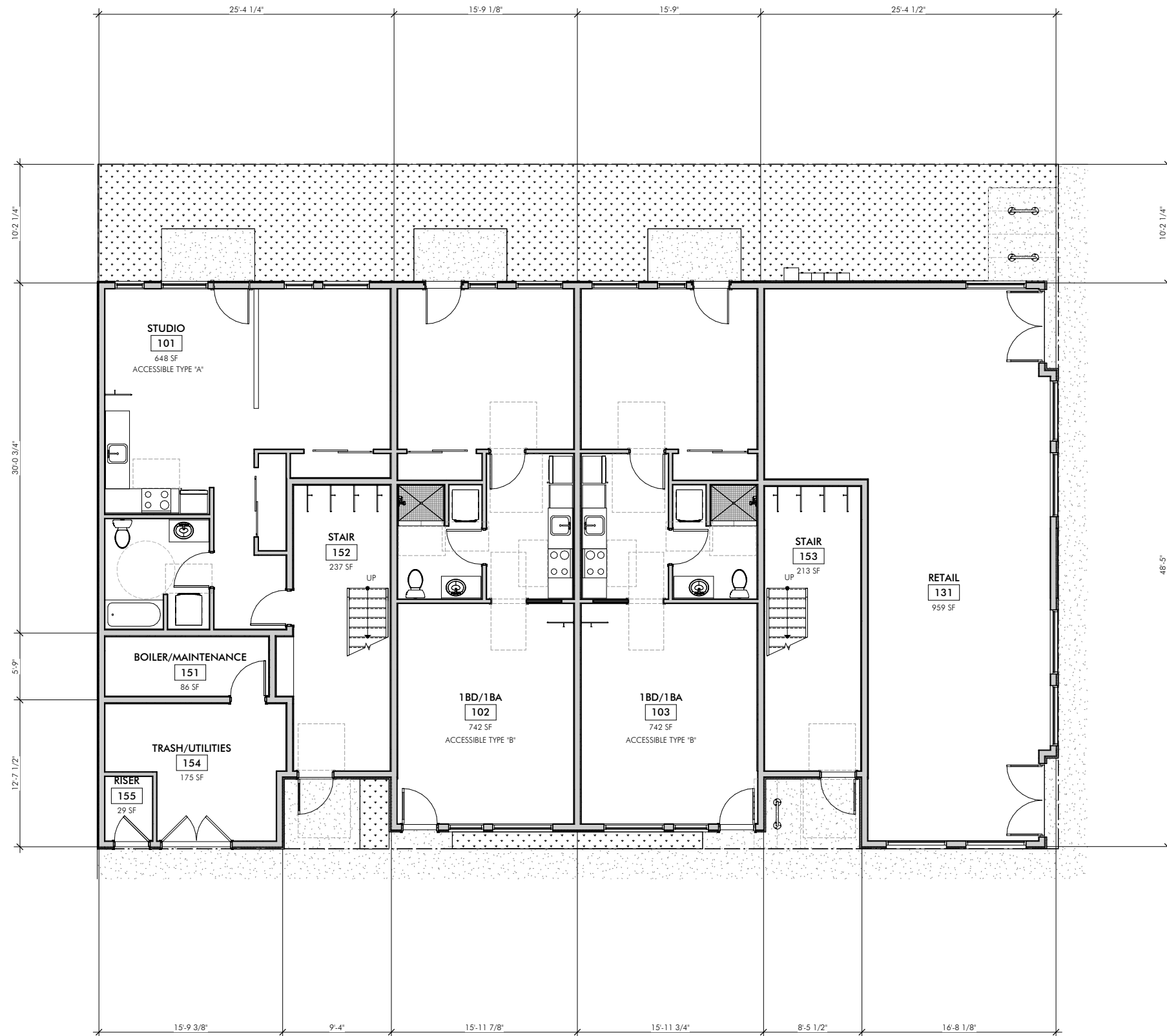
TOTAL BUILDING AREA: 12,161 SF  
NEW BUILDING FOOTPRINT: 3,924 SF

PER 33.266.110(D):  
PARKING: PARKING NOT REQUIRED (<30 UNITS, SITE WITHIN 1500' OF TRANSIT STATION 11512)

PER 33.266.210.A.1:  
BIKE PARKING REQUIRED: RETAIL  
SHORT TERM:  
2 LONG-TERM REQUIRED 2 LONG-TERM PROVIDED  
LONG TERM:  
SECURE W/ CAMERA MONITORING  
2 SHORT-TERM REQUIRED, 2 SHORT-TERM PROVIDED

BIKE PARKING REQUIRED: RESIDENTIAL  
SHORT TERM:  
1 SHORT TERM REQ'D PER 20 UNITS, 1 SHORT TERM PROVIDED  
1 UNIT/ 20 = .95 = 1 SHORT TERM SPACES REQD  
LONG TERM:  
1.1/UNIT LONG TERM REQD  
1.1 x 19 = 20.9  
MINIMUM 21 IN-BUILDING SECURE PROVIDED

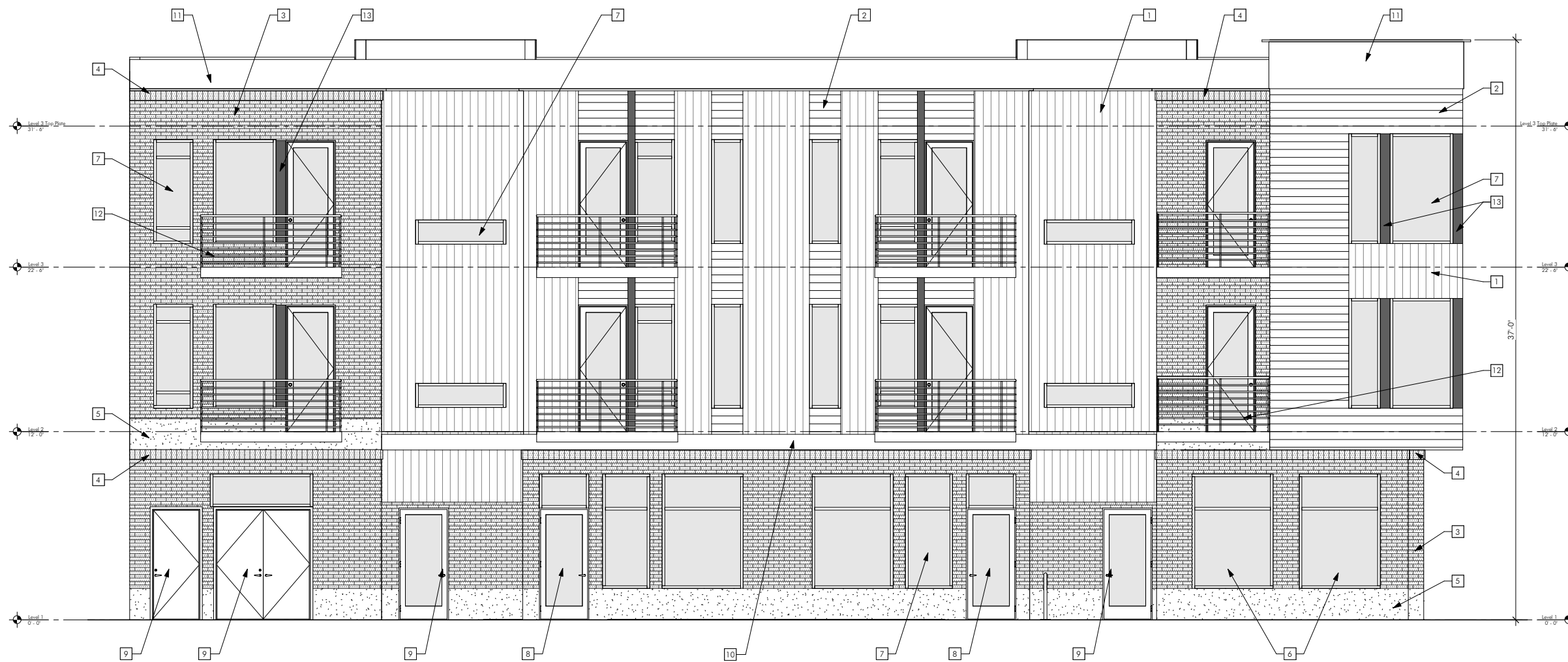






### ELEVATION NOTES:

- 1 VERTICAL WOOD SIDING.
- 2 HORIZONTALLY ORIENTED METAL SIDING.
- 3 SLIMBRICK VENEER.
- 4 SOLDIER COURSE.
- 5 EXPOSED, TEXTURED CONCRETE FINISH.
- 6 ALUMINUM STOREFRONT AT RETAIL SPACE.
- 7 VINYL/FIBERGLASS WINDOWS AT DWELLING UNITS.
- 8 FIBERGLASS PATIO/BALCONY DOOR.
- 9 ALUMINUM ENTRY DOOR.
- 10 METAL CLAD AWNING.
- 11 METAL CLAD CORNICE.
- 12 UNIT BALCONY WITH METAL GUARDRAIL.
- 13 COLORED METAL ACCENT PANEL.
- 14 PREFERRED LOCATION OF ELECTRICAL/GAS METERS.



**2** South Building Elevation

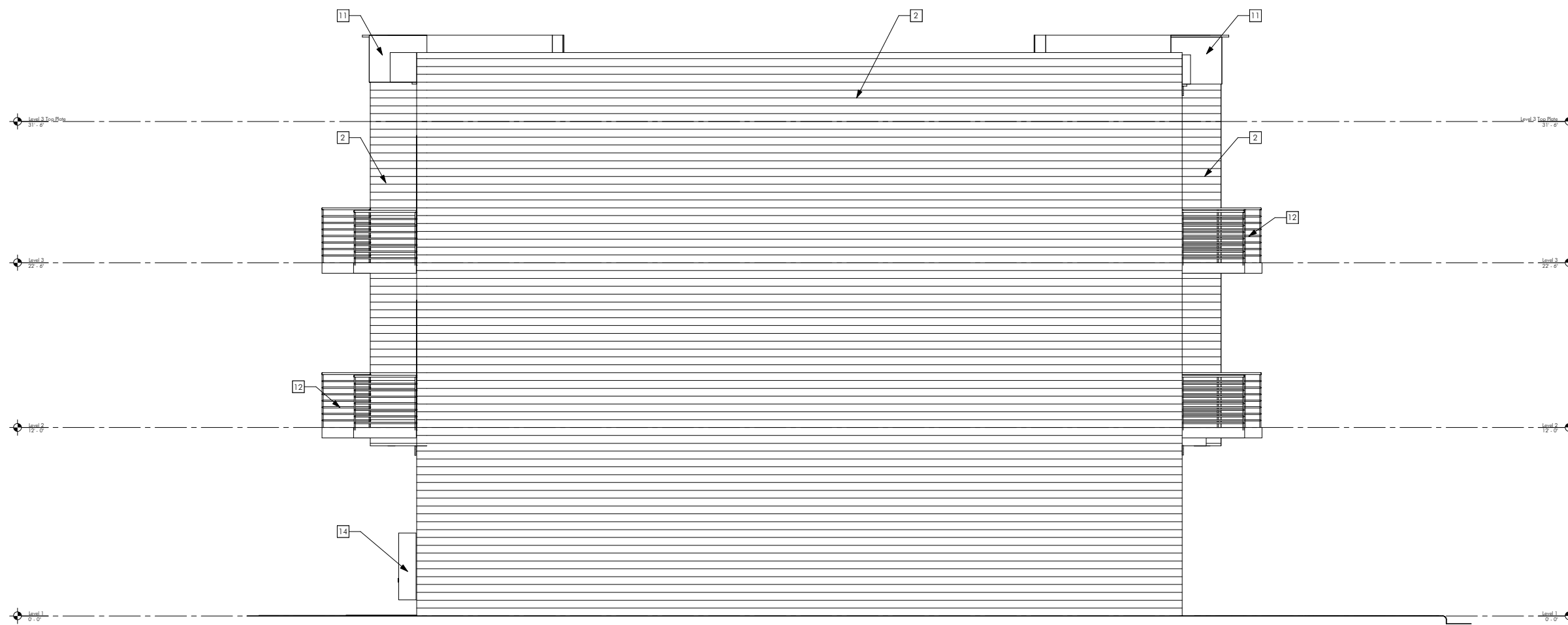
0 1 2 4 8 12 1/4" = 1'-0"

Ground Floor Windows (Non-Dwelling Unit)- Wall Area 402 SF - Window Area 122 SF or 30% - 25% Required  
 Ground Floor Windows (Dwelling Unit)- Wall Area 258 SF - Window Area 165 SF or 64%



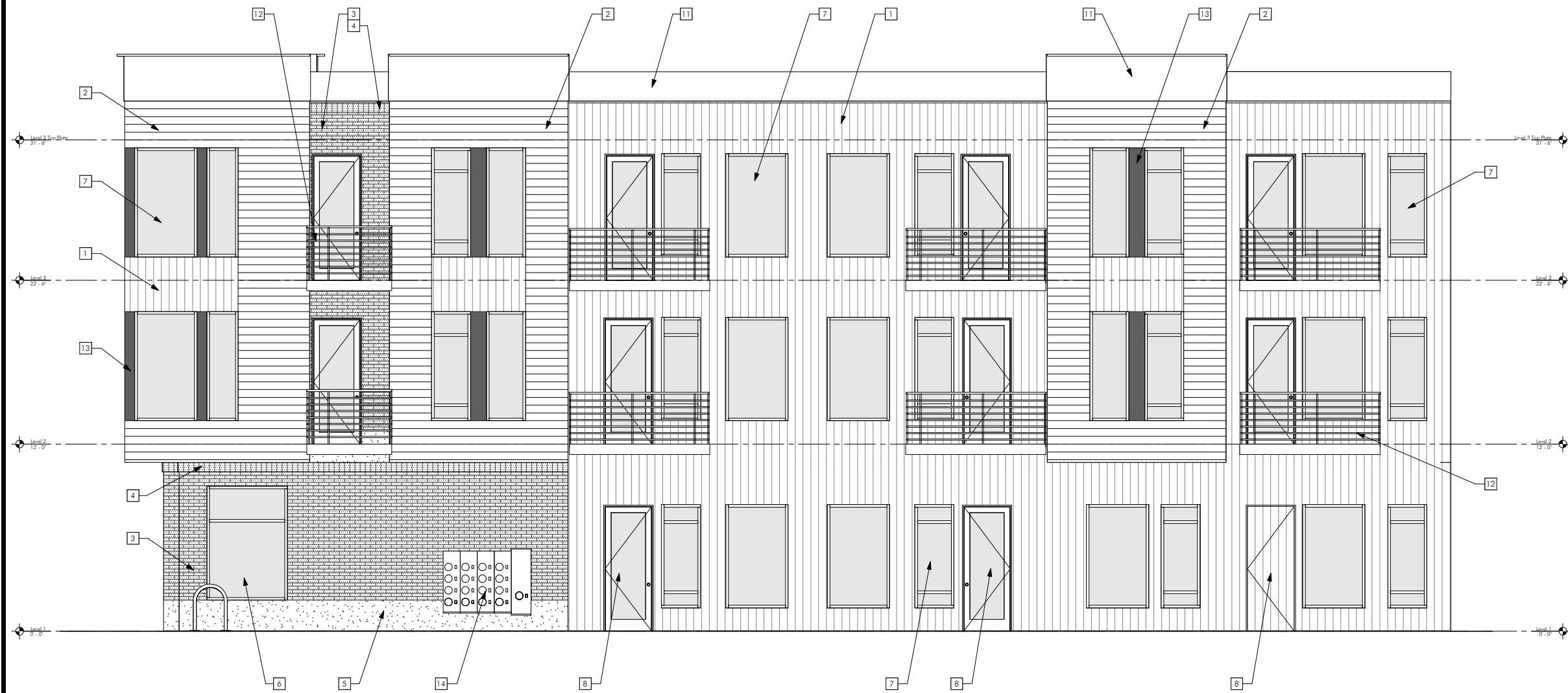
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### ELEVATION NOTES:

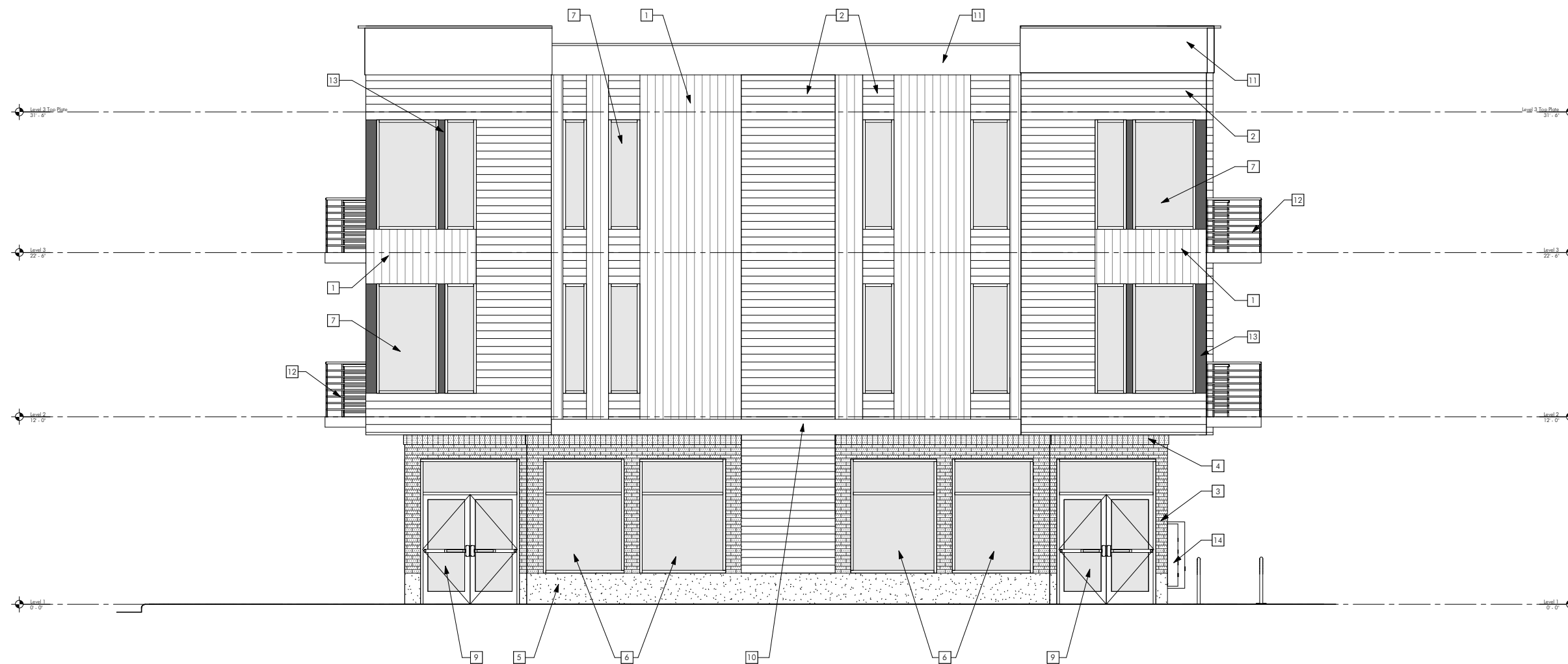
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**1** North Building Elevation  
 0 1 2 4 8 12  
 1/4" = 1'-0"

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**1** East Building Elevation  
 0 1 2 4 8 12  
 1/4" = 1'-0"

Ground Floor Windows - Wall Area 390 SF - Window Area 284 SF or 73% - 60% Required

# Zoning Code Review: 5905 N Interstate

- I. Summary  
Zone: CM-3  
Site Area: 4,850 sf  
Building Area: Level 01: = 3,924  
Level 02: = 4,146  
Level 03: = 4,146  
Total: = 12,216  
Max FAR: 3:1  
Max SF: 14,550 sf  
Actual FAR: 2.5:1  
Actual SF: 12,216 s.f.  
Unit Mix: Studio: 13  
1-Bed: 6  
Total: 19
- II. Base Zone (33.130)  
A. Allowed uses (33.130.100.A): Per Table 130-1, household and retail uses allowed outright  
B. Floor Area Ratio (33.130.205.B): Per Table 130-3, 3-to-1 maximum FAR.  
C. Height Standard (33.130.210.B): Per Table 130-3, 65 feet maximum height.  
D. Minimum Building Setbacks (33.130.215.B): No building setback required on street lot lines on South and East or on lot lines abutting CM-3 zone to North and West.  
E. Maximum Building Setbacks (33.130.215.C): 10 feet from street lot lines  
F. Maximum Building Coverage (33.130.220.B): Per Table 130-2, maximum coverage is 100% of the site area.  
G. Minimum Landscaped Area (33.130.225.B): Per Table 130-2, minimum 15% of the site area. 730 SF or 15%.  
H. Trees (33.130.227) See 11.50 for tree requirements  
I. Outdoor areas (33.130.228.B) 36 sf per unit, minimum 4'-0" x 6'-0" dimension.  
J. Ground Floor Windows in the CM3 Zone (33.130.230.B): See community design standard review.  
K. Screening (33.130.235):  
1. Any rooftop mechanical equipment is to be screened per this section.  
L. Pedestrian Standards (33.130.240): One main entrance must be within 20 feet of street. All main entries comply.
- III. Parking (33.266)  
A. Minimum Required Parking Spaces (33.266.110)  
1. (D): Vehicle Parking not required (<30 units, site within 1500' of transit station 11512)  
B. Required Bicycle Parking (33.266.210)- as specified in Table 266-6:  
1. Long Term  
a. Required: 20.9  
i. Residential (1.1 per unit): 20.9  
b. Provided: 21  
i. 21 in building, secured.  
ii. 2 in security monitored exterior racks along NE Interstate.  
2. Short Term  
a. Required: 3  
b. Provided: 2 located near building entrance along N Simpson, 1 located along NE Interstate  
C. Bicycle Parking Standards (33.266.220)  
1. Short term bicycle parking is provided with approved racks, is outside the building at sidewalk grade and each rack is located within 50 feet of a main entrance as required per Subsection A.2.  
2. Long term bicycle parking is provided with approved racks, located within the locked building per Subsection B.2.  
3. Bicycle racks are to be approved by the Office of Transportation Handbook of Racks as required per Subsection C.3.  
4. Each bicycle parking space is accessible without moving another bicycle, has a 5-foot aisle for maneuvering directly behind, and is hard surfaced as required per Subsection C.4.  
5. Covered bicycle parking is inside the building or underneath a permanent structure as required per subsection C.5.  
D. Loading (33.266.310)  
1. Building is under 20,000sf. and contains 19 dwelling units. Therefore no loading zone required.
- IV. Definitions (33.910)  
A. Floor Area. The total floor area of the portion of a building that is above ground. Floor area is measured from the exterior faces of a building or structure. Floor area includes the area devoted to structured parking that is above ground level. Floor area does not include the following:  
1. Areas where the elevation of the floor is 4 feet or more below the lowest elevation of an adjacent right-of way;  
2. Roof area, including roof top parking;  
3. Roof top mechanical equipment; and  
4. Roofed porches, exterior balconies, or other similar areas, unless they are enclosed by walls that are more than 42 inches in height, for 50 percent or more of their perimeter.  
B. Floor Area Ratio (FAR). The amount of floor area in relation to the amount of site area, expressed in square feet. For example, a floor area ratio of 2 to 1 means two square feet of floor area for every one square foot of site area.
- V. Transportation System Plan Classifications  
A. Traffic Classifications  
1. N Interstate Ave: District Collector  
2. N Simpson St: Local Service Traffic Street  
B. Transit Classifications  
1. N Interstate Ave: Major Transit Priority Street  
2. N Simpson St: Local Service Transit Street  
C. Bicycle Classifications  
1. N Interstate Ave: City Bikeway  
2. N Simpson St: Local Service Bikeway  
D. Pedestrian Classifications  
1. N Interstate Ave: City Walkway  
2. N Simpson St: Local Service Walkway  
E. Freight Classifications  
1. N Interstate Ave: Local Service Truck Street  
2. N Simpson St: Local Service Truck Street  
F. Emergency Response Classifications  
1. N Interstate Ave: Major Emergency Response  
2. N Simpson St: Minor Emergency Response  
G. Street Design Classifications  
1. N Interstate Ave: Civic Main Street  
2. N Simpson St: Local Street
- VI. Trees (11.50)  
A. Onsite tree preservation standards (11.50.040)  
1. No existing trees on site
- VII. Community Design Standards (33.218.140)  
A. Building placement and the street.  
B. Does not apply to this project. 33.128.140.A fulfilled.  
a. 100% of building walls are set back no further than 10'-0" from the street lot lines; and  
b. The area between the building and transit streets is hard surfaced, except for the area directly in front of the residential ground floor units.  
c. For each 100 square feet of hard-surface between the building and the street lot line there is either a landscaping planter or a bench. Areas within 2'-0" of the street lot line do not provide the aforementioned items nor any other item found in this section. (2) planter are provided  
d. Bicycle parking can be found between the building and street lot line.  
C. Reinforce the corner: Project is not located in a pedestrian district and there is only one city walkway.  
D. Residential Buffer: Does not apply.  
E. Building height  
1. Maximum height in RH, RX and E zones.  
a. The height of the building is 37'-0".  
F. Main entrance  
1. All main building entrances face street lot lines.  
G. Vehicle areas - Does not apply to this project.  
H. Foundation material  
1. Exposed/textured concrete is present at the ground floor and is not revealed more than 3' above finish grade.  
I. Exterior finish materials  
1. The standards of the paragraph must be met on all building facades.  
a. The primary building cladding systems consist of thin brick, concrete, horizontal metal panels and vertically oriented wood boards.  
J. Roof-mounted equipment: Screening, as required, will stand at least as tall as the tallest part of the roof-mounted equipment where the equipment does not meet the required setback from the roof edge.  
K. Rooftop solar energy systems: Does not apply as there are no solar energy systems.  
L. Water cisterns: Does not apply as there are no above-ground water cisterns.  
M. Ground floor windows: Exceeds minimum requirements. 60% required along N Interstate, 25% required along Simpson.  
N. Distinct ground floor: Exterior finishes change or are interrupted above the ground level.  
O. Roofs  
1. The roof pitch is flatter than a 6/12 pitch. The building's cornice is 24" in height and consists of two parts. The top part of the cornice projects 6" inches from the face of the building while the bottom portion of the cornice projects 2" from the face of the building.  
P. Base of buildings: The building provides a base on all street facing elevations that consists of textured concrete that is of contrasting size and color than the rest of the street facing, ground floor elevations. This base is no less than 2'-0" in height.  
Q. Additional standards for historic resources: Does not apply as site is not in conservation district.
- VIII. 33.415 Centers Main Street Overlay Zone  
200. Required Ground Floor Active Use - Retail Sales and Service occupies 25% of the ground floor.  
3,924 SF Ground Floor Area, 957 SF Retail provided  
310. Minimum Floor Area: .5 to 1 Required, 2.5:1 Provided  
320. Maximum Building Setback: All ground floor level street facing facade is within the maximum setbacks.  
330. Location of Vehicle Areas: Does not apply  
340. Ground Floor Windows: 73% ground floor windows is provided along N Interstate, the street with the highest transit classification.  
350. Entrances: (2) Entrances are provided along both N Interstate and N Simpson and face those streets.
- IX. 33.561 North Interstate Plan District  
210. Maximum Building Height: 75'-0" max  
220. Floor Area Ratios: 4:1  
230. Transition Between Zones: Does not apply.  
250. Exterior Displays and Storage: Exterior displays and storage are prohibited except for outdoor seating for restaurants and pedestrian-oriented accessory uses.  
260. Off-site Impacts: Does not apply  
270. Required Building Lines: Does not apply  
280. Active Building Use Areas: Does not apply  
300. Motor Vehicle Access: Does not apply